

**ROYAL BOROUGH OF WINDSOR & MAIDENHEAD
PLANNING COMMITTEE**

MAIDENHEAD DEVELOPMENT CONTROL PANEL

19 February 2020

Item: 3

Application No.:	19/03444/OUT
Location:	Poundstretcher 31 - 33 High Street Maidenhead SL6 1JG
Proposal:	Outline application for access, appearance, layout and scale to be considered at this stage with all other matters to be reserved for the part conversion of first floor and new second and third floors to create 10 No. flats with associated works to ground floor.
Applicant:	Mr Howells
Agent:	Not Applicable
Parish/Ward:	Maidenhead Unparished/St Marys
If you have a question about this report, please contact: Antonia Liu on 01628 796034 or at antonia.liu@rbwm.gov.uk	

1. SUMMARY

- 1.1 The application is for outline consent for the part conversion of the first floor and new second and third floor to create 10 flats, with associated works to the ground floor. Matters to be considered are access, appearance, layout and scale with landscaping to be considered as a reserved matter.
- 1.2 It is also considered that the proposed scheme causes harm to the amenity of the occupants of the residential flat at no. 29 High Street as it would result in loss of daylight and would appear visually overbearing and intrusive when viewed from the second floor windows on the rear elevation serving a bedroom at no. 29 High Street due to the siting along the shared boundary, height, depth and form.
- 1.3 It is not considered that the benefits of the scheme resulting from its small contribution towards the Local Planning Authority in meeting their 5 year housing land supply; the redevelopment of a brownfield site and the provision of additional housing in a sustainable town centre location; and economic benefits through employment during construction and increase in local spends from additional residents would outweigh the adverse impacts of allowing this planning application.

It is recommended the Panel REFUSES planning permission for the following summarised reason (the full reason are identified in Section 13 of this report):

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| 1. | By reason of its the siting along the shared boundary, height, depth and form, the proposal would appear as a visually overbearing and intrusive form of development when viewed from the second floor window on the rear elevation of no. 29 High Street and would also give rise to an unacceptable loss of daylight to this window. |
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2. REASON FOR PANEL DETERMINATION

- The Council's Constitution does not give the Head of Planning delegated powers to determine the application in the way recommended; such decisions can only be made by the Panel.

3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

- 3.1 The site measures approximately 0.05ha and is located within Maidenhead Town Centre. It comprises of a flat roof, 2-storey, 6-bay building at no. 31-33 which fronts onto the High Street. The building measures a maximum 7.7m in height and 16.2m in width with the ground floor measuring a maximum 29.6m in depth while the first floor is set back by approximately 3m from

the ground floor front elevation. It is a 20th century insert between Jasmine Peaking restaurant at no. 29 High Street to the east which was built c.1908, and HSBC at no. 35 High Street to the west which was built c.1922. This row of 3 forms a short parade within the High Street sited between Park Street and Old Post Office Lane. The ground floor of no. 31-33 High Street is in A1 (retail) use with ancillary A1 uses on the first floor, and currently occupied by Poundstretcher. To the rear of the site is a small service area with access from Park Street and beyond is no. 1 Park Street, which is occupied by offices.

4. KEY CONSTRAINTS

- 4.1 The site lies within the Maidenhead Town Centre Conservation area, and as part of the High Street forms part of a secondary shopping frontage. The site also lies within Maidenhead Air Quality Monitoring Area. The adjoining neighbours at no. 29 and 35 High Street, and 1 Park Street are important non-designated buildings.

5. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

- 5.1 The proposal is for outline planning permission for 10 flats (5 x 1-bed, 5 x 2-bed) following part conversion of the first floor, the erection of a new second floor and third floor within the proposed crown roof. Matters to be considered are access, layout, scale and appearance with landscaping being a reserved matter.
- 5.2 The existing ground floor unit would be retained for retail use. Approximately 240sqm of the first floor to the rear of the building will also be retained for ancillary retail use, while the floorspace to the front will be converted to 1 x 1-bed flat measuring approximately 62sqm and 1 x 2-bed flat measuring approximately 85sqm. The section of flat roof owing to the first floor set back will be converted and utilised as a balcony, one for each flat.
- 5.3 The proposed second floor would extend over the existing first floor, being set back approximately 3m from the ground floor front elevation and extending rearwards by a maximum 26m to form 2 x 1-bed flats measuring approximately 62sqm each and 2 x 2-bed flats measuring approximately 90sqm each. The 2-bed flat to the rear would benefit from a private balcony measuring approximately 42sqm, while the 1-bed flat to the rear would benefit from a private balcony measuring approximately 13sqm. No private amenity space is proposed for the 2 flats to the front.
- 5.4 2 x 1-bed flats each measuring approximately 55sqm and 2 x 2-bed flats each measuring approximately 78sqm would be accommodated in the proposed crown roof. No amenity space is proposed for any of these flats. The crown roof measures approximately 3m from the eaves to ridge with a pitch of 70 degrees. 3 flat roof dormers are proposed to the front roof slope together with two decorative Dutch gables. On the rear roof slope are 5 flat roof dormers.
- 5.5 Access to the flats would be from the ground floor from High Street with a communal stairway. The retail unit would retain a separate access from the High Street serving the main shopfloor, and an access from Park Street for deliveries of goods. No off-street parking is proposed.
- 5.6 There is extensive planning history related to the operation of the retail unit (e.g. alterations to the shopfront, advertisement consent etc.) but no relevant planning history related to the redevelopment of the site.

6. DEVELOPMENT PLAN

Adopted Royal Borough Local Plan (2003)

- 6.1 The main Development Plan policies applying to the site are:

Issue	Adopted Local Plan Policy
Character and Appearance	DG1, H10, H11
Impact on Conservation Area	CA2
Housing Provision	H6, H8, H9
Highways	P4, T5, T7
Trees	N6

These policies can be found at

https://www3.rbwm.gov.uk/downloads/download/154/local_plan_documents_and_appendices

6.2 Adopted Maidenhead Town Centre Area Action Plan (MTCAAP) (2011)

Issue	Policy
Character and Appearance	MTC4,
Retail Use	MTC7
Housing Provision	MTC12
Highways	MTC14
Infrastructure	IMP2

These policies can be found at

https://www3.rbwm.gov.uk/downloads/download/155/maidenhead_town_area_action_plan_aap_documents

7. MATERIAL PLANNING CONSIDERATIONS

7.1 National Planning Policy Framework Sections (NPPF) (2019)

Section 2 – Achieving Sustainable Development

Section 4 – Decision-Making

Section 5 – Delivering a Sufficient Supply of Homes

Section 7 – Ensuring the vitality of Town Centres

Section 11 – Making Effective Use of Land

Section 12 – Achieving Well-Designed Places

Section 14 – Meeting the Challenge of Climate Change, Flooding and Coastal Change

Section 16 – Conserving and Enhancing the Historic Environment

7.2 National Design Guide

This document was published in October 2019 and seeks to illustrate how well-designed places that are beautiful, enduring and successful can be achieved in practice. It forms part of the Government's collection of planning practice guidance and should be read alongside the separate planning practice guidance on design process and tools. The focus of the design guide is on layout, form, scale, appearance, landscape, materials and detailing. It further highlights ten characteristics which work together to create its physical Character, these are context, identify, built forms, movement, nature, public spaces, uses, homes and buildings, resources and life span.

7.3 Borough Local Plan: Submission Version (2018)

Issue	Local Plan Policy
Character and Appearance	SP2, SP3
Housing Provision	HO2, HO5
Town centre	TR3
Historic Environment	HE1
Trees	NR2
Environmental Protection	EP1, EP2, EP4, EP5
Highways	IF2
Infrastructure	IF1

7.4 Borough Local Plan: Submission Version Proposed Changes (2019)

Issue	Local Plan Policy
Character and Appearance	QP1, QP3
Housing Provision	HO2
Town centre	TR3
Historic Environment	HE1
Trees	NR3
Environmental Protection	EP1, EP2, EP4, EP5
Highways	IF2
Infrastructure	IF1

7.5 The NPPF sets out that decision-makers may give weight to relevant policies in emerging plans according to their stage of preparation. The Borough Local Plan Submission Document was published in June 2017. Public consultation ran from 30 June to 27 September 2017. Following this process the Council prepared a report summarising the issues raised in the representations and setting out its response to them. This report, together with all the representations received during the representation period, the plan and its supporting documents was submitted to the Secretary of State for independent examination in January 2018. The Submission Version of the Borough Local Plan does not form part of the statutory development plan for the Borough.

7.6 In December 2018, the examination process was paused to enable the Council to undertake additional work to address soundness issues raised by the Inspector. Following completion of that work, in October 2019 the Council approved a series of Proposed Changes to the BLPSV. Public consultation ran from 1 November to 15 December 2019. All representations received will be reviewed by the Council to establish whether further changes are necessary before the Proposed Changes are submitted to the Inspector. In due course the Inspector will resume the Examination of the BLPSV. The BLPSV and the BLPSV together with the Proposed Changes are therefore material considerations for decision-making. However, given the above both should be given limited weight.

7.7 These documents can be found at:
<https://www3.rbwm.gov.uk/blp>

7.8 **Supplementary Planning Documents**

- Planning Obligations and Developer Contributions

7.9 **Other Local Strategies or Publications**

- RBWM Townscape Assessment
- RBWM Parking Strategy
- Maidenhead Town Centre Conservation Area Appraisal

8. **CONSULTATIONS CARRIED OUT**

Comments from interested parties

8 occupiers were notified directly of the application. The planning officer posted a notice advertising the application at the site on 8 January 2020 and the application was advertised in the Local Press on 19 December 2019.

No letters have been received supporting or objecting to the application.

Consultees

Consultee	Comment	Where in the report this is considered
Arboriculture Officer	Further details required on location of proposed utilities to ensure no transgression	Section 9 (v)

	<p>within root protection area of nearby street trees. Should these details be satisfactory, full details will be required on submission of reserved matters.</p> <p>Construction management plan will be required to show that trees will not be affected by or within any working areas required for the development.</p>	
Conservation Officer	Raises objection to the overall bulk and design of the additions. It is considered that the proposals would not preserve or enhance the character or appearance of the conservation area, would harm its significance and have a negative impact on the setting of the nearby non-designated heritage assets. The level of harm would be less than substantial, but not considered to be outweighed by any public benefits provided by the scheme.	Section 9 (ii)
Environmental Protection	No objection subject to conditions relating to a Site Specific Construction Environmental Management Plan (CEMP), restricted hours for vehicle delivery/collections, and measures to reduce dust during construction and demolition; and informatives relating to dust and smoke control.	Section 9 (iii)
Highways Officer	No objection to the conversion and construction of a new second and third floor for residential purposes given the accessibility of the site. However, further details of refuse and recycling provisions are required.	Section 9 (iv)
Lead Local Flood Authority	No objection	Section 9 (iv)

9. EXPLANATION OF RECOMMENDATION

9.1 The key issues for consideration are:

- i Principle of Development
- ii Impact on Character, Including Maidenhead Town Centre Conservation Area
- iii Residential Amenity
- iv Highway Safety and Parking
- v Trees
- vi Sustainable Drainage
- vii Housing Land Supply

i Principle of Development

Residential Development

9.2 Maidenhead town centre represents a sustainable location to live, and in addition to contributing towards meeting local housing need an increase in residential units within Maidenhead town centre would bring more life into the area and help support local shops, services and facilities. As such, paragraph 85 of the NPPF states that planning decisions should support the role of town

centres at the heart of local communities and should recognise that residential development plays an important role in ensuring the vitality of town centres. In compliance with the NPPF, Local Plan policy H6 states that the Council will grant planning permission for the provision of additional residential accommodation within town centres. MTCAAP policy MTC12 states that new housing development will be supported throughout the town centre. In this context, there is no objection in principle to residential development to the upper floors of the property.

Retail Use

- 9.3 Maidenhead town centre is a focal point for shopping facilities which serves the local community, and contributes to the wider vitality and viability of the area. As such, MTCAAP policy MTC7 seeks to maintain and enhance the town centre's role by supporting and enhancing retail activity.
- 9.4 While the proposal seeks to retain the existing retail use on the ground floor, there would be a loss of approximately 173sqm of ancillary A1 floor space on the first floor. However, it is considered that the remaining retail units would still be viable in terms of operations. The Council's Retail and Town Centre Study (2015) reports that retailers are moving towards a more efficient use of space in response to the growth of internet / click and collect shopping and decline in 'bulk' shopping. Together with advances in technology to better manage stock it is reported that in-town retail units do not necessarily need the same space traditionally required for storage; much of which is now surplus to requirements. In this context, it is considered that adequate storage and facilities could be sufficiently accommodated within the proposed first floor floorspace. In relation to servicing, refuse collection arrangements would remain the same with access to a service area from Park Street. On balance, it is considered that the proposal would not unduly compromise the viability of the retail use in terms of operation.

ii Impact on Character, Including Maidenhead Town Centre Conservation Area

Density

- 9.5 The proposal will result in a density of approximately 200 dwellings per hectare (dhp), which represents a high density development. MTCAAP policy MTC12 states that higher density housing will be appropriate in suitable locations. In this case, the site is located in Maidenhead Town Centre which is a sustainable location and had been identified as an area for strategic growth. This quantum of development is therefore acceptable in principle. However, balanced against this, Local Plan policy H11 states that schemes that introduce a scale or density of new development which would be incompatible with and cause damage to the character of the area would be resisted and, while paragraph 118 of the NPPF states that substantial weight should be given to the value of using suitable brownfield land within settlements for homes, paragraph 122 of the NPPF states that making efficient use of land should take into account the desirability of maintaining an area's prevailing character and setting and the importance of securing well-designed places.

Design Policies

- 9.6 Local Plan policy H10 and MTCAAP policy MTC4 require new development to display a high standard of design and where possible to enhance the existing environment, while policy DG1 states that harm should not be caused to the character of the surrounding area. These policies are considered to be in line with paragraphs 124 and 130 of the NPPF which advise that high quality buildings and places is fundamental to what planning should achieve and permission should be refused for development of poor design that fails to take the opportunity for improving the character and quality of the area and the way it functions.
- 9.7 The Council is also required to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area to accord with Section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990. Local Plan policy CA2 requires development to preserve or enhance the character or appearance of the conservation area by ensuring development is of a high standard of design and sympathetic to local character.

- 9.8 The recently published National Design Guide sets out the characteristics of well-designed places and what good design means in practice. In terms of context, the guide states that well-designed development responds positively to the composition of street scenes; the height, scale, massing and relationship between buildings; and appearance, details and material.

Identified Character of the Area

- 9.9 The site lies within the historic core of Maidenhead, as identified in the Council's Townscape Assessment, which forms part of the Maidenhead Town Centre Conservation Area. The Council's Townscape Assessment identifies the historic core as having a clear hierarchy of roads comprising of a main through-route (the High Street) with subsidiary roads leading off the principle streets (Park Street, Old Post Office Lane) Key characteristics include irregular building plots; buildings of human scale, typically 2 to 4 storeys in height and irregular building frontages and rooflines which create a varied streetscape.
- 9.10 In relation to the special interest of Maidenhead Town Centre Conservation Area, the significance differs from one street to the next as the town centre has developed piecemeal through the passage of time. However, aesthetically the character of the High Street consists predominantly of Victorian and Edwardian façades and some modern 20th century insertions. Variations in appearance from building to building can be attributed to the organic construction of buildings along the commercial main street of the town. The Maidenhead Town Centre Conservation Area Appraisal notes that the varied building heights and complex roofscape particularly create visual interest and reflects the historic development of the town centre but in terms of commonality the large majority of the built form within the conservation area is on narrow plots that face onto the street and are 2 to 4 storeys in height.

Siting, Form, Height, Scale and Architectural Detailing

- 9.11 While the adjacent buildings at no. 29 and 35 High Street and 1 Park Street are important non-designated heritage asset, the existing building at no. 31-33 High Street is not considered to be of architectural or historic interest in its own right. In relation to the conservation area and setting of the neighbouring important non-designated heritage assets, as a modern development the existing building is larger than the historic scale identified as a special character of the conservation area which the neighbouring properties conform to. However, although the scale is apparent from Old Post Office Lane, the set back first floor, flat roof and plain design minimises its visual presence from the High Street and Park Street. Overall, it is considered that the existing building makes a neutral contribution to the Maidenhead Town Centre Conservation Area and setting of the neighbouring important non-designated heritage assets.
- 9.12 The proposal includes a second floor with a crown roof accommodating a third floor within the roof space. While both its eaves and ridge height would be above those of adjacent neighbours, it would reflect some of the prevailing heights of other buildings in the area and variation in height is identified as special characteristics of the conservation area. This local variation allows a higher roof to integrate into the streetscene without appearing overly dominant when seen in context with the neighbouring important non-designated heritage assets.
- 9.13 The height and depth of the proposal would increase the building's scale and mass to the rear, but side/rear views from Park Street would be limited to views through an existing gap and consequently would not unduly draw the eye from the road. The height, scale and mass to the rear would be more apparent from Old Post Office Lane, but due to the extent of development to the rear of the application site and no. 29 High Street it is considered that the setting of the no. 29 High Street as a non-designated heritage asset is already compromised. That would remain the same with the new development in place.
- 9.14 On balance, it is considered that the character and appearance of the streetscene, conservation area, and setting of the neighbouring non-designated heritage assets would be preserved.

iii Residential Amenity

- 9.15 Local Plan policy H11 states that in established residential areas development which introduces a scale or density that would cause damage to the amenity of the area would be resisted. As a material consideration, paragraph 127 of the NPPF states that planning decisions should ensure that development should achieve a high standard of amenity for existing and future users.
- 9.16 To the east of the site is a residential flat on the upper floors of no. 29 High Street. The existing first floor at the application site extends along the shared boundary and approximately 13m further rearwards than the rear elevation of the first floor at no. 29 High Street. The proposed second floor and crown roof also extend along the shared boundary but at a depth of 9.9m. To the rear of the second floor, the proposed balcony area would have a flank wall measuring 1.3m in height extending a further 5m in depth. There are no first floor windows on the rear elevation at no. 29 High Street, only a solid door leading to the flat roof of the ground floor. However, on the second floor there are two windows on the rear elevation. At a site visit the occupants of no. 29 have confirmed that the smaller window to the east serves a bathroom (a non-habitable room) but the larger windows to the west, adjacent to the shared boundary with the application site, serves a bedroom. This window is the sole window serving this habitable room. When viewed from this window, given the height and depth of the second floor and roof extension it is considered that the resultant building would appear unduly visually overbearing and intrusive, to the detriment of their amenity.
- 9.17 In terms of daylight, taking a diagonal downward 45 degree angle from the nearest top corner of the extension, the centre of the subject window would lie within the 45 degree angle. The extension would also intrude through a 45 degree line taken from the mid-point of the window. As such, together with the south facing orientation, it is considered that the proposal would result in an unreasonable loss of daylight to this room. Paragraph 123 of the NPPF which states that where there is an existing or anticipated shortfall of land for meeting identified housing need when considering applications for housing, authorities should take a flexible approach in applying policies or guidance relating to daylight and sunlight where they would otherwise inhibit making efficient use of a site. However, in balancing this against the impact on neighbouring amenity it is not considered that the resulting scheme would provide an acceptable living standard. This would be contrary to Local Plan policy H11 and paragraph 127 of the NPPF.

Air Quality

- 9.18 The site lies in an Air Quality Management Area (AQMA) due to the exceedance of the air quality objectives with regard to the annual mean nitrogen dioxide particulate matter. Paragraph 181 of the NPPF requires planning decisions to sustain and contribute compliance with relevant limits and take opportunities to improve air quality or mitigate potential impacts from both the construction and operational phases.
- 9.19 The Air Quality Assessment submitted with the application reports that the potential air quality impacts from construction activities would not be significant assuming good practice. If minded to approve it is recommended that a Construction Environmental Management Plan, which includes a Dust Management Plan, can be secured by condition. During the operational phase, it is considered that the main air pollutant would be from road traffic. A detailed dispersion modelling of the annual mean nitrogen dioxide (NO₂) and particulate matter (PM₁₀ and PM_{2.5}) at existing and proposed receptor locations has also been submitted, and it is concluded that the air quality impact of the development is not significant.

iv Highway Safety and Parking

- 9.20 Local Plan policy T5 requires all development proposals to comply with adopted highway design standards, policy P4 requires all development proposals to accord with adopted car parking standards, and policy T7 seeks to ensure that new development makes appropriate provision for cyclists including cycle parking. MAAP policy MTC14 states that where appropriate development should provide adequate parking facilities.
- 9.21 The site currently benefits from servicing area with access off Park Street, and pedestrian access from the High Street. There are no proposed changes to this arrangement and therefore the

proposal is not considered to result in any undue harm to highway safety over and above the existing situation in this respect.

- 9.22 No on-site parking is proposed but, given that the town centre is considered to be a sustainable location with good access to local services and public transport, it is considered that this location could support a car-free development. Furthermore, there are parking restrictions within the vicinity such as double yellow lines, time limited parking bays and disabled parking bays to prevent any potential indiscriminate on-street parking to the detriment of highway safety.
- 9.23 The Council's adopted Parking Strategy states that cycle parking in town centres is encouraged by the Council and it should generally be provided at a ratio of at least 1 cycle parking space per residential unit. If minded to approve this could be secured by condition. It is also considered that details of refuse and recycling storage could also be secured by condition.
- 9.24 Given the car free nature of the proposed development it is considered that the vehicle trip generation would be limited and therefore would not impact on the local highway infrastructure network and the proposal is therefore acceptable in this respect.

v Trees

- 9.25 Local Plan policy N6 states that an application for new development should wherever practicable allow for the retention of existing trees, and where the amenity value of trees outweighs the justification for development, planning permission may be refused.
- 9.26 There are no trees on site, but there are 3 trees on the adopted highway to the west on Park Street. Additional information has been submitted to demonstrate that utilities servicing the proposed development can be installed outside of the root protection area of these trees. At the time of the writing, comments from trees are still pending, and so any further comments received will be reported in an update.

vi Sustainable Drainage

- 9.27 Paragraph 165 of the NPPF states that major developments should incorporate sustainable drainage systems unless there is clear evidence that this would be inappropriate. While classified as a major development, no sustainable drainage measures have been proposed. However, the submitted Drainage and Utilities Statement indicates that the existing site is 100% impermeable and as the proposed development would not alter the footprint there is unlikely to be an increase in surface water runoff. Furthermore, given the constraints of the site, it is accepted there would be limited scope for the inclusion of sustainable drainage measures. As such, in this instance the lack of sustainable drainage systems is considered to be acceptable.

vii Housing Land Supply

- 9.28 Paragraphs 10 and 11 of the NPPF set out that there will be a presumption in favour of Sustainable Development. The latter paragraph states that:

For decision-taking this means: approving development proposals that accord with an up-to-date development plan without delay; or where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:

- i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or*
- ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.*

- 9.29 Footnote 7 clarifies that 'out-of-date policies include, for applications involving the provision of housing, situations where the local planning authority cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer).'

9.30 At the time of writing, the Council currently cannot demonstrate a five year supply of deliverable housing sites (with the appropriate buffer).

9.31 Footnote 6 of the NPPF (2019) clarifies that section d(i) of paragraph 11 of the NPPF is not applied where '*policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed*'. This includes designated heritage assets (conservation areas) but as set out in paragraphs 9.5 to 9.14 the application of policies in this Framework that protect heritage assets does not provide a clear reason for refusing the development. As such, the so-called 'tilted balance' is engaged. The assessment of this and the wider balancing exercise is set out below in the conclusion

10. COMMUNITY INFRASTRUCTURE LEVY (CIL)

10.1 In accordance with the Council's adopted Community Infrastructure Levy (CIL) Charging Schedule, the development is CIL liable, but the required CIL payment for the proposed development is set at £0 per square metre.

11. CONCLUSION

11.1 It is also considered that the proposed scheme causes harm to the amenity of the occupants of the residential flat at no. 29 High Street as it would result in loss of daylight and would appear visually overbearing and intrusive when viewed from the second floor windows on the rear elevation serving a bedroom at no. 29 High Street due to the siting along the shared boundary, height, depth and form. This would be contrary to Local Plan policy H11 and paragraph 127 of the NPPF, and given **significant weight against** the development.

11.2 The proposal is considered to be acceptable in relation to retention of retail use at the site, character and appearance including Maidenhead Town Centre Conservation Area, highway safety and parking, air quality and sustainable drainage.

11.3 In relation to benefits that weigh in favour of the development. It is acknowledged that the proposal for 10 units would make a small contribution towards the Local Planning Authority in meeting their 5 year housing land supply, which is given **moderate weight in favour** of the development. There is also considered to be some environmental benefits as the proposal would involve the redevelopment of a brownfield site and the provision of additional housing in a sustainable, town centre location, which is also given **moderate weight in favour** of the development. It is likely that there would be some economic benefits through employment generation during construction, and an increase in local spends from additional residents, although unquantified and therefore given **limited weight in favour**.

11.4 For the reasons set out above and having regard for the tilted balance, it is considered that the adverse impacts of allowing this planning application would significantly and demonstrably outweigh the benefits, when assessed against the policies in the NPPF, when taken as a whole.

12. APPENDICES TO THIS REPORT

- Appendix A – Site Location Plan
- Appendix B Proposed Plans and Elevations

13. REASONS RECOMMENDED FOR REFUSAL IF PERMISSION IS NOT GRANTED

1 By reason of its siting along the shared boundary, height, depth and form, the proposal would appear as a visually overbearing and intrusive form of development when viewed from the second floor window on the rear elevation of no. 29 High Street and would also give rise to an unacceptable loss of daylight to this window. This window is the sole window serving a habitable room within a residential flat. The proposal would therefore have an undue detrimental impact on the residential amenity of the occupants of the residential flat at no. 29 High Street, contrary to policy H11 of the Royal Borough of Windsor and Maidenhead Local Plan 1999 (Incorporating Alterations Adopted in June 2003), and paragraph 127 of the National Planning Policy Framework 2019.

Appendix A – Site Location Plan



Drainage Survey (c) Crown Copyright 2011. All rights reserved. Licence number 100020449

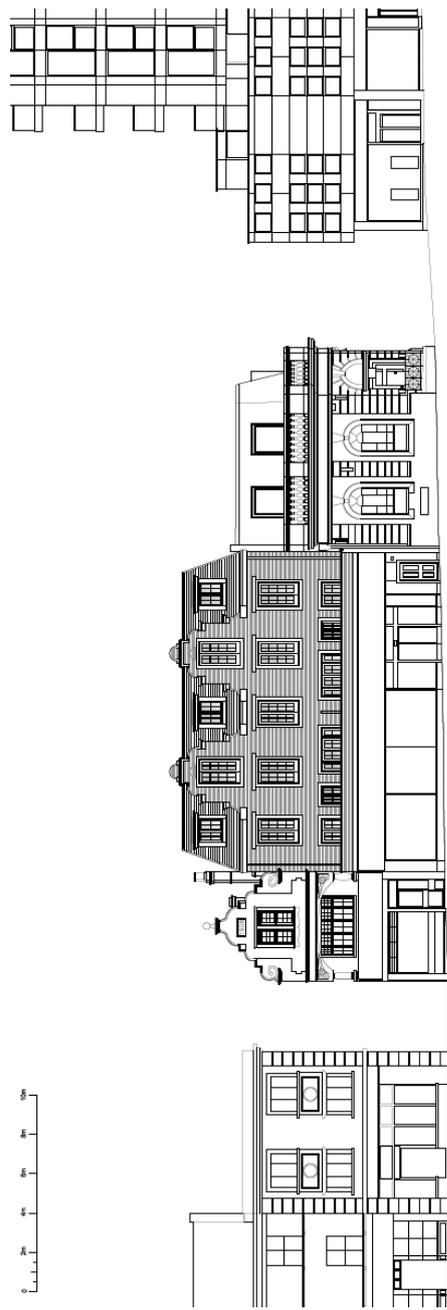
Enhancement of 31-33 High Street, Maidenhead and Addition of Flats Above
 Location plan
 Scale: 1/1250 @ A4
 HSMD31-33/PLN/100



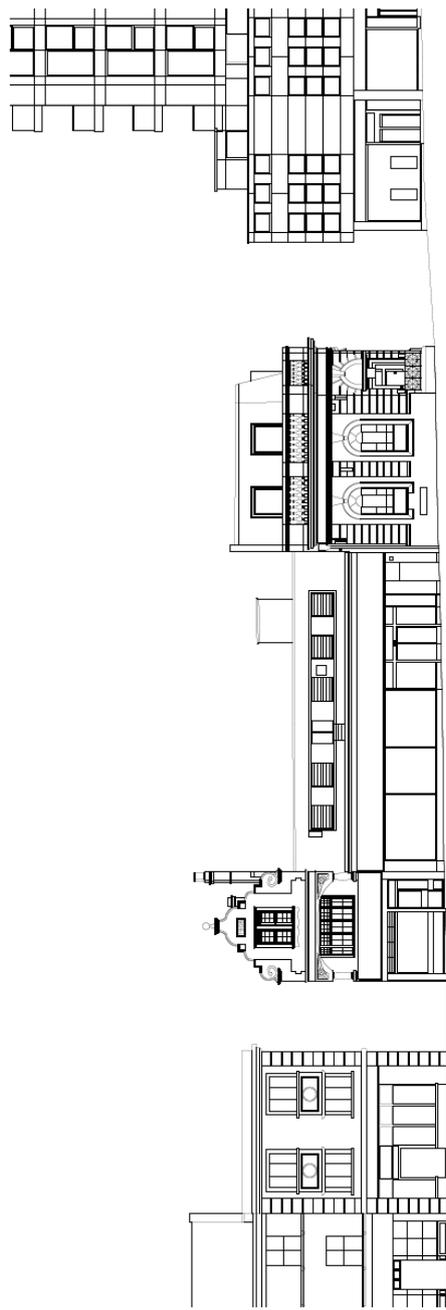
22/08/19

Appendix B – Proposed Plans and Elevations

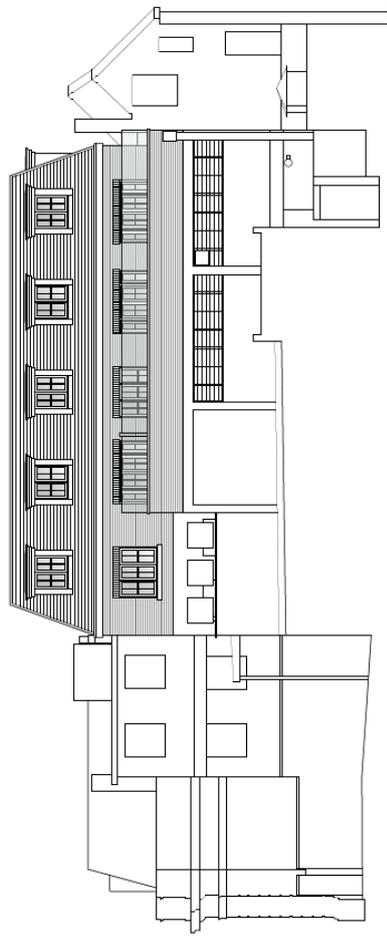
<p>Consultant:</p>	<p>© The drawings are the property of Sorbono & Associates, Inc. All rights reserved. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Sorbono & Associates, Inc.</p>	<p>Notes:</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">Rev.</td> <td style="width: 10%;">Description</td> <td style="width: 5%;">Date</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	Rev.	Description	Date				<p>Project:</p> <p>Enhancement of 31-33 High Street, Maidenhead and Addition of Flats Above</p>	<p>Title: Title</p> <p>Existing and Proposed North Elevations</p>	<p>SORBONO ESTATES</p> <p>Sorbono, Anthony Blvd., Blackwood, NJ 07004 Tel: 908.318.1131 Fax: 908.318.1137 www.sorbono.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">Date: 01/11/20</td> <td style="width: 10%;">Proj: 2208019</td> <td style="width: 10%;">Scale: 1/8"=1'-0"</td> <td style="width: 10%;">Sheet: AT</td> </tr> <tr> <td colspan="3">Title: 31-33 High Street</td> <td style="width: 10%;">Sheet: 10111</td> </tr> <tr> <td colspan="4">Project: HSM031-33PLM104</td> </tr> </table>	Date: 01/11/20	Proj: 2208019	Scale: 1/8"=1'-0"	Sheet: AT	Title: 31-33 High Street			Sheet: 10111	Project: HSM031-33PLM104			
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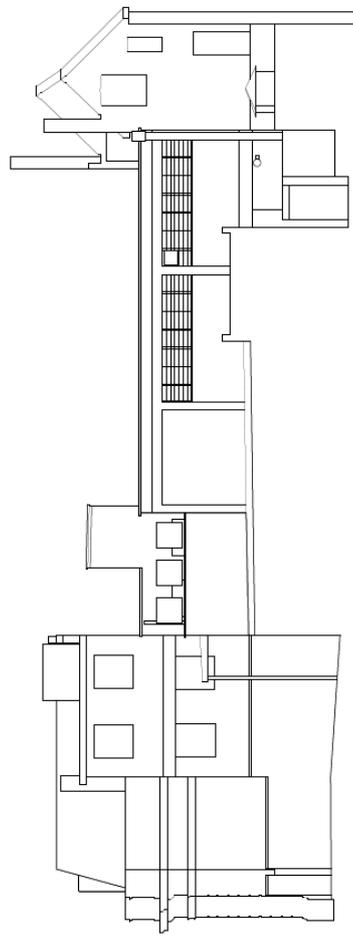
Proposed North Elevation (High Street)



Existing North Elevation (High Street)



Proposed South Elevation



Existing South Elevation

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 prior to construction

Notes

Rev.	Description	Date

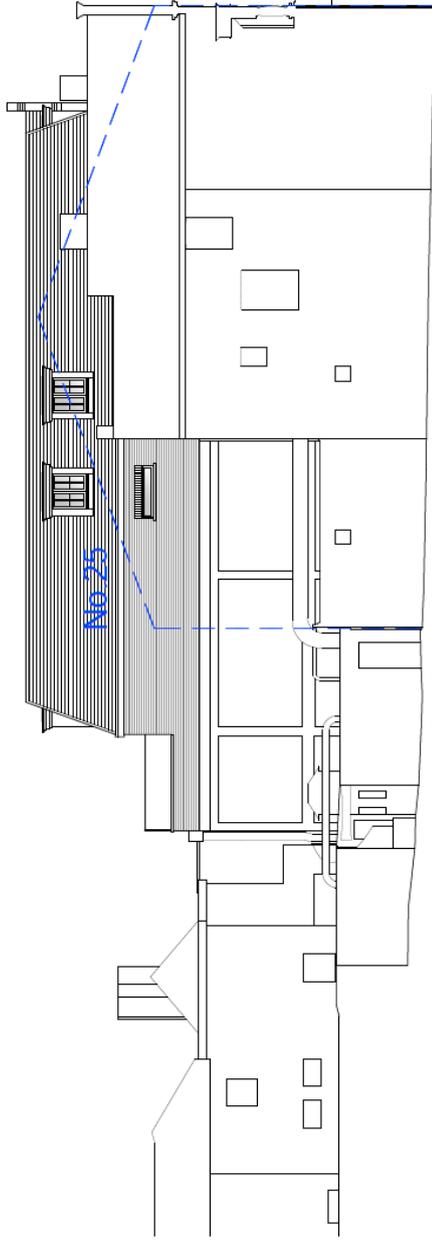
Project:
**Enhancement of
 31-33 High Street, Maidenhead
 and Addition of Flats Above**

Drawing Title
**Existing and Proposed
 South Elevations**

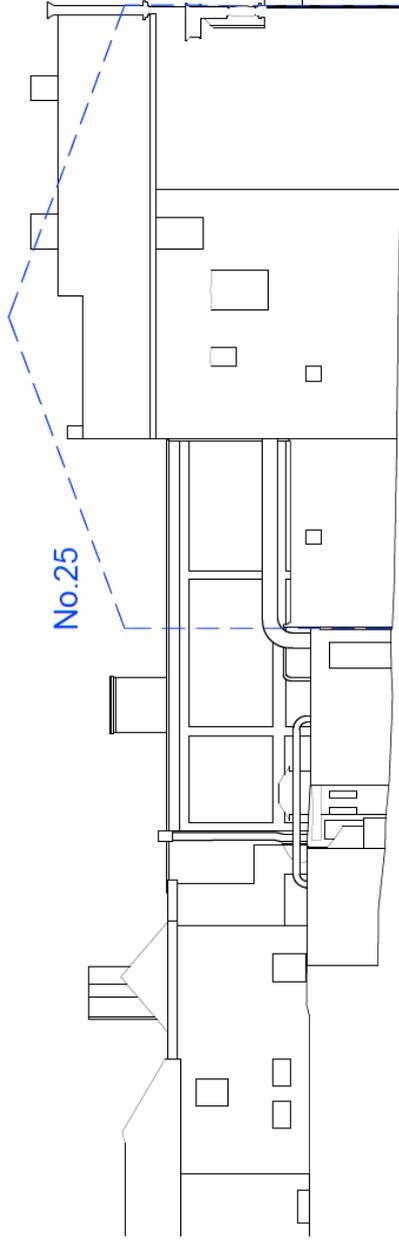
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Drawing No. HSM031-33/PLN/105	
Revision	



Proposed East Elevation (Old Post Office Lane)



Existing East Elevation (Old Post Office Lane)

All dimensions and areas must be checked on site and verified prior to construction.

Notes		
Rev.	Description	Date

Project
**Enhancement of
 31-33 High Street, Maidenhead
 and Addition of Flats Above**

Drawing Title
**Existing and Proposed
 East Elevations**

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